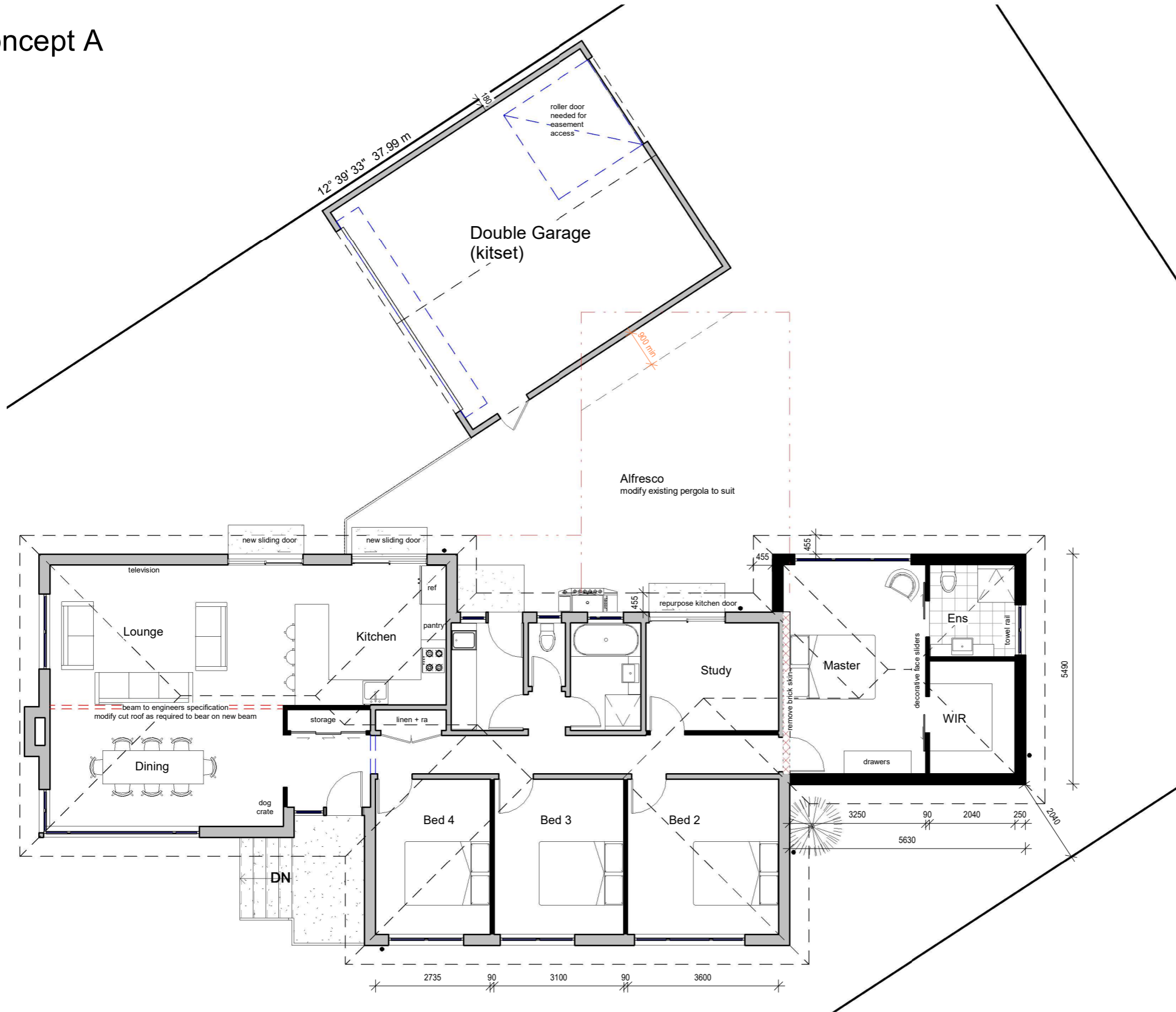


Concept A



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AMMENDMENTS

No	Description	Date
A	For client review	3/08/2022

Walls Legend

- Existing Walls
- Walls/item to be demolished
- New Walls

CLIENT
 Confidential

PROJECT
 Extension and garage

PROJECT No: 2216
 BLOCK: 1
 SECTION: 1
 SUBURB: ACT
 ADDRESS: confidential

DRAWING TITLE
 Concept A - Floorplan

DRAWING NO:
 PSP1

ISSUE: A
 DATE: 3/08/2022
 SCALE @A3: 1 : 100
 DRAWN BY: S.Vaughan
 CHECKED BY: client



for client review only

1 Concept A - Proposed Floorplan
 1 : 100

NOTE
 DIMENSIONS ARE BASED UPON A SITE MEASURE AND HAVE BEEN ROUNDED +/- 10MM. COMPOUNDING ERRORS MAY OCCUR.

Concept A



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AMMENDMENTS

No	Description	Date
A	For client review	3/08/2022

Walls Legend

-  Existing Walls
-  Walls/item to be demolished
-  New Walls

CLIENT

Confidential

PROJECT

Extension and garage

PROJECT No: 2216
 BLOCK: 1
 SECTION: 1
 SUBURB: ACT
 ADDRESS: confidential

DRAWING TITLE

Concept A - 3D views

DRAWING NO:

PSP2

ISSUE: A
 DATE: 3/08/2022
 SCALE @A3: 1 : 100
 DRAWN BY: S.Vaughan
 CHECKED BY: client



NOTE

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Concept B



Alfresco
modify existing pergola to suit

beam to engineers specification
modify cut roof as required to bear on new beam.

remove brick skin

1 Concept B - Proposed Floorplan
1 : 100

NOTE
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AMMENDMENTS

No	Description	Date
A	For client review	3/08/2022

Walls Legend

- Existing Walls
- Walls/item to be demolished
- New Walls

for client review only

CLIENT
Confidential

PROJECT
Extension and garage

PROJECT No: 2216
BLOCK: 1
SECTION: 1
SUBURB: ACT
ADDRESS: confidential

DRAWING TITLE
Concept B - Floorplan

DRAWING NO:
PSP3

ISSUE: A
DATE: 3/08/2022
SCALE @A3: 1 : 100
DRAWN BY: S.Vaughan
CHECKED BY: client



Concept B



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AMMENDMENTS

No	Description	Date
A	For client review	3/08/2022

Walls Legend

-  Existing Walls
-  Walls/item to be demolished
-  New Walls

CLIENT

Confidential

PROJECT

Extension and garage

PROJECT No: 2216
 BLOCK: 1
 SECTION: 1
 SUBURB: ACT
 ADDRESS: confidential

DRAWING TITLE

Concept B - 3D views

DRAWING NO:

PSP4

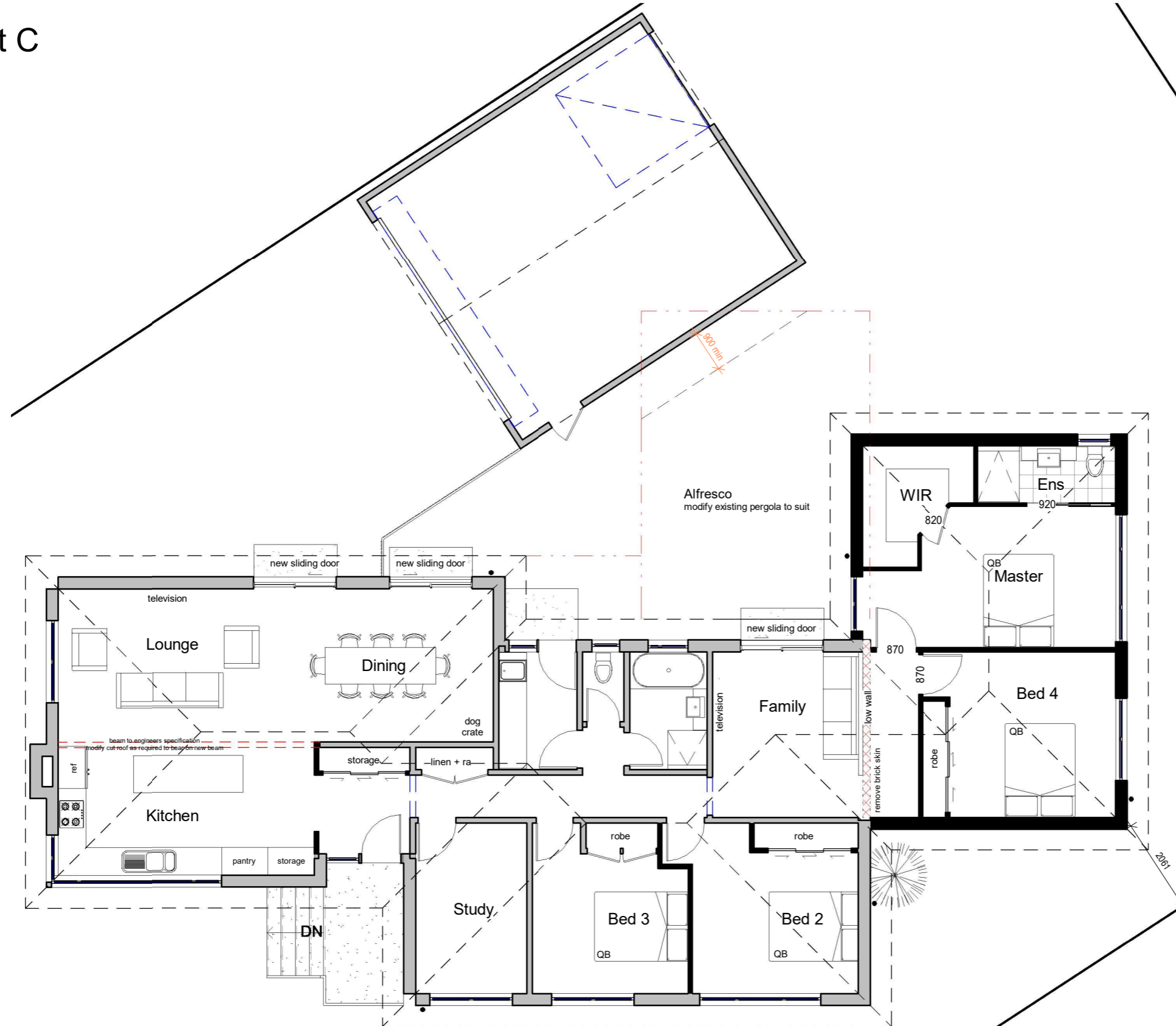
ISSUE: A
 DATE: 3/08/2022
 SCALE @A3: 1 : 100
 DRAWN BY: S.Vaughan
 CHECKED BY: client



NOTE

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Concept C



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AMMENDMENTS

No	Description	Date
A	For client review	3/08/2022

Walls Legend

- Existing Walls
- Walls/item to be demolished
- New Walls

CLIENT
Confidential

PROJECT
Extension and garage

PROJECT No: 2216
BLOCK: 1
SECTION: 1
SUBURB: ACT
ADDRESS: confidential

DRAWING TITLE
Concept C - Floorplan

DRAWING NO:
PSP5

ISSUE: A
DATE: 3/08/2022
SCALE @A3: 1 : 100
DRAWN BY: S.Vaughan
CHECKED BY: client



for client review only

1 Concept C - Proposed Floorplan
1 : 100

NOTE
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Concept C



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AMMENDMENTS

No	Description	Date
A	For client review	3/08/2022

Walls Legend

-  Existing Walls
-  Walls/item to be demolished
-  New Walls

CLIENT

Confidential

PROJECT

Extension and garage

PROJECT No: 2216
 BLOCK: 1
 SECTION: 1
 SUBURB: ACT
 ADDRESS: confidential

DRAWING TITLE

Concept C - 3D views

DRAWING NO:

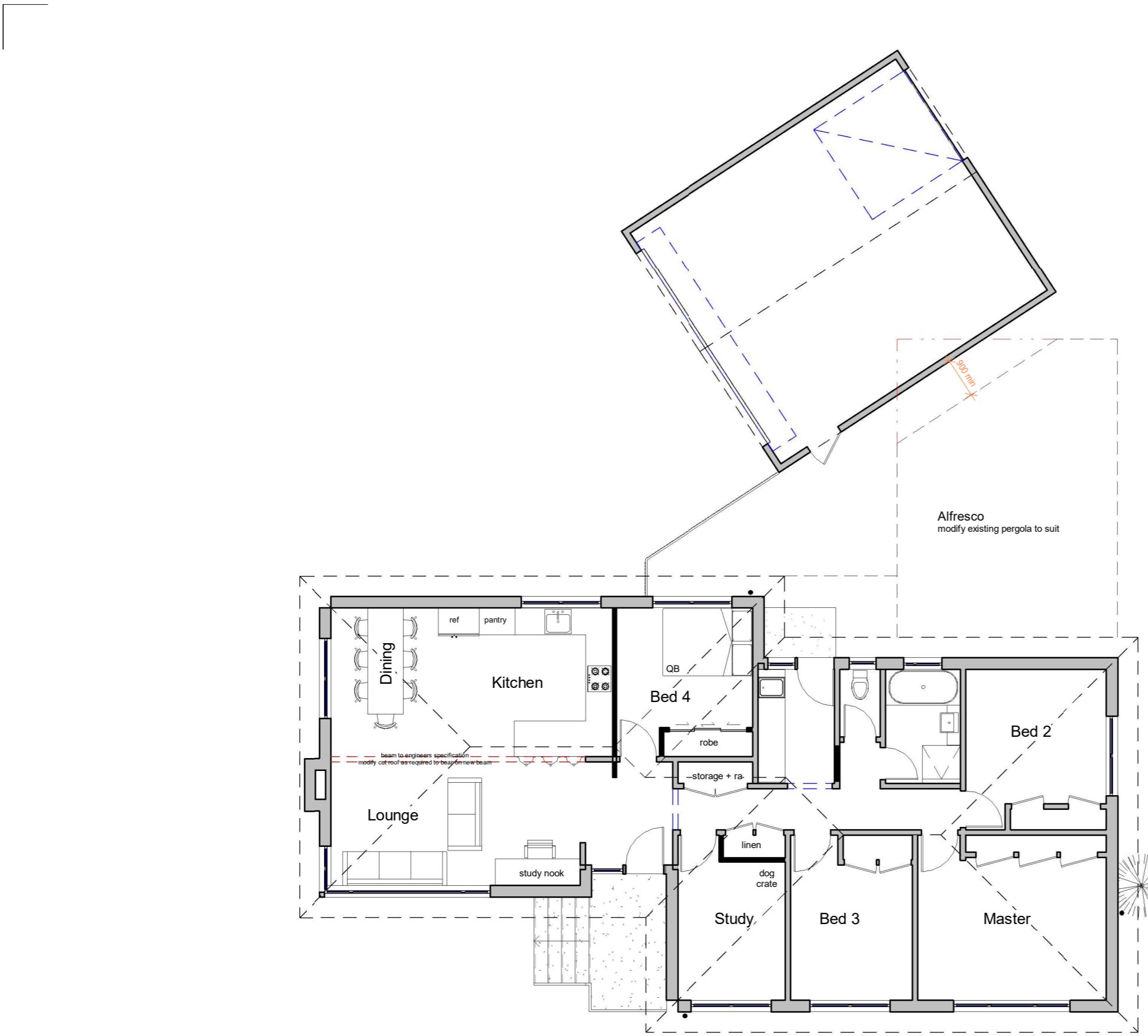
PSP6

ISSUE: A
 DATE: 3/08/2022
 SCALE @A3: 1 : 100
 DRAWN BY: S.Vaughan
 CHECKED BY: client



NOTE

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AMMENDMENTS

No	Description	Date
A	For client review	3/08/2022

Walls Legend

- Existing Walls
- Walls/item to be demolished
- New Walls

CLIENT
Confidential

PROJECT
Extension and garage

PROJECT No: 2216
BLOCK: 1
SECTION: 1
SUBURB: ACT
ADDRESS: confidential

DRAWING TITLE
Concept D - Floorplan

DRAWING NO:
PSP7

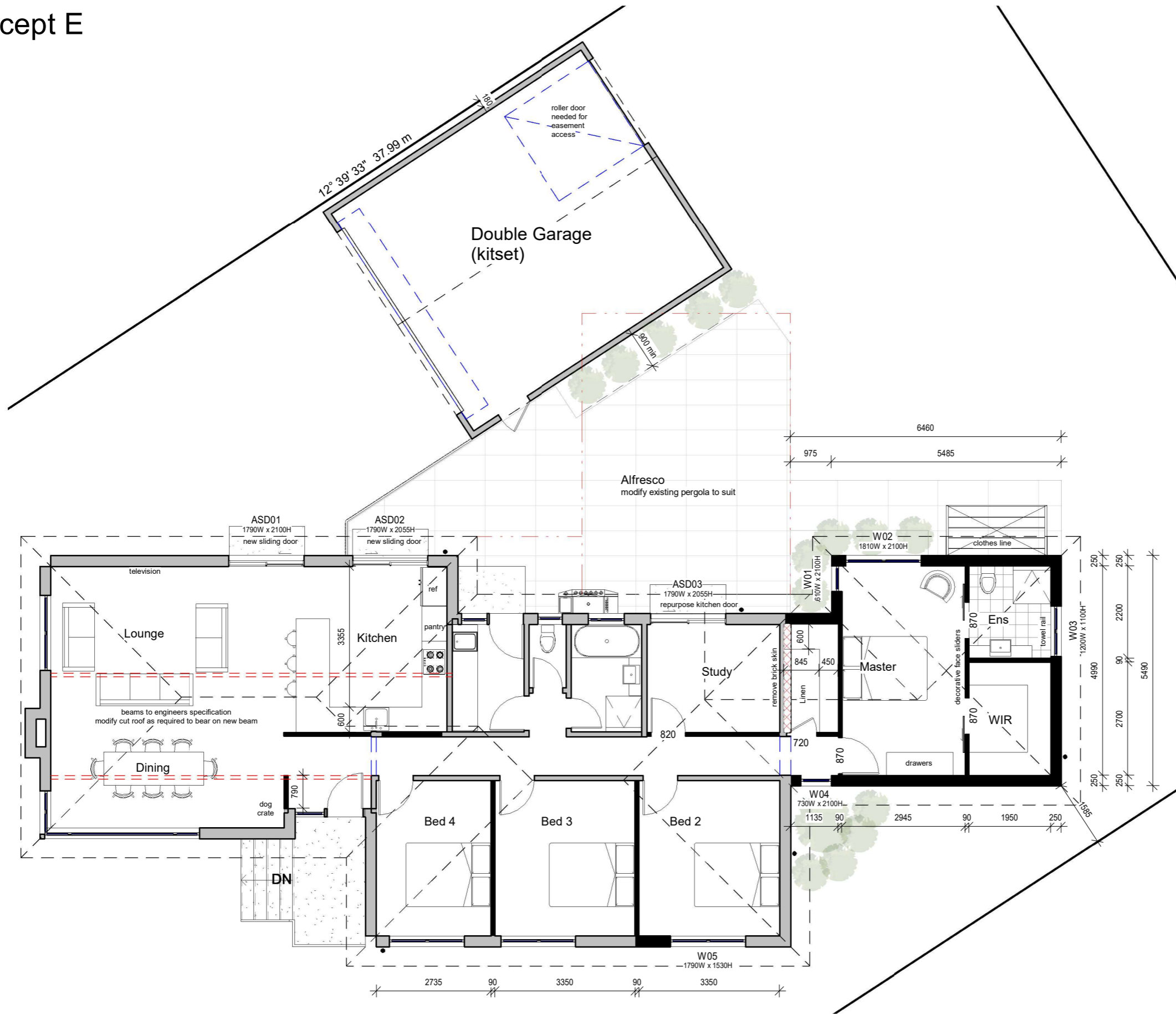
ISSUE: A
DATE: 3/08/2022
SCALE @A3: 1 : 100
DRAWN BY: S.Vaughan
CHECKED BY: client



1 Concept D - Proposed Floorplan
1 : 100

NOTE
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Concept E



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AMMENDMENTS

No	Description	Date
B	For client review	20/10/2022

Walls Legend

- Existing Walls
- Walls/item to be demolished
- New Walls

CLIENT
Confidential

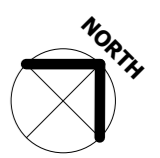
PROJECT
Extension and garage

PROJECT No: 2216
BLOCK: 1
SECTION: 1
SUBURB: ACT
ADDRESS: confidential

DRAWING TITLE
Concept E - Floorplan

DRAWING NO:
PSP8

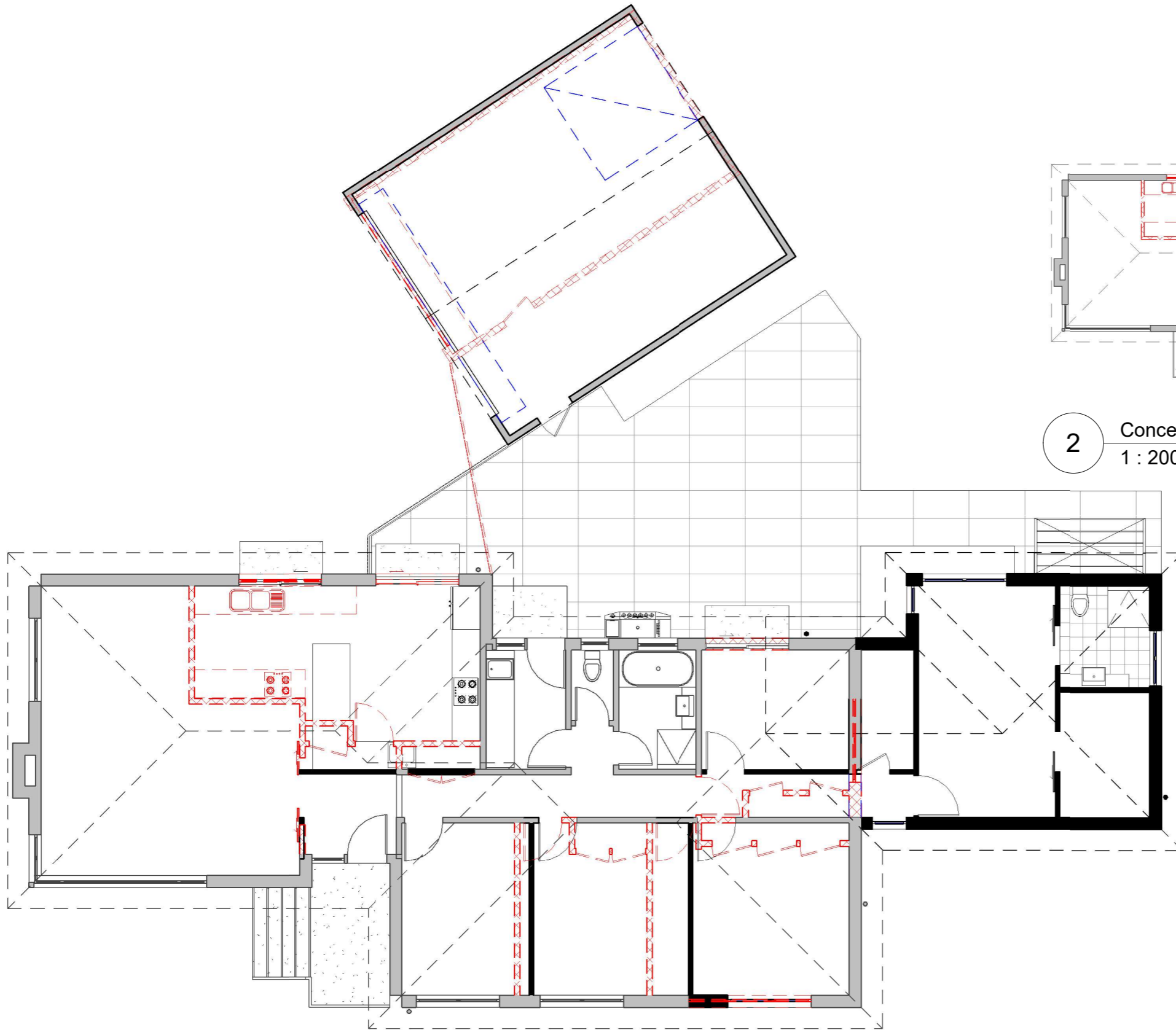
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DATE: 20/10/2022
SCALE @A3: 1 : 100
DRAWN BY: S.Vaughan
CHECKED BY: client



NOTE
DIMENSIONS ARE BASED UPON A SITE MEASURE AND HAVE BEEN ROUNDED +/- 10MM. COMPOUNDING ERRORS MAY OCCUR.

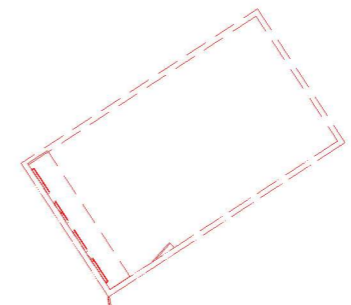
for client review only

Concept E



1 Concept E - Proposed Works
1 : 100

2 Concept E - Proposed Demo
1 : 200



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AMMENDMENTS

No	Description	Date
B	For client review	20/10/2022

Walls Legend

- Existing Walls
- Walls/item to be demolished
- New Walls

for client review only

CLIENT
Confidential

PROJECT
Extension and garage

PROJECT No: 2216
BLOCK: 1
SECTION: 1
SUBURB: ACT
ADDRESS: confidential

DRAWING TITLE
Concept E - Proposed Works

DRAWING NO:
PSP9

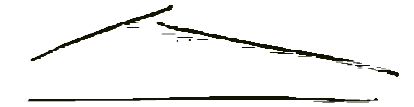
ISSUE: B
DATE: 20/10/2022
SCALE @A3: As indicated
DRAWN BY: S.Vaughan
CHECKED BY: client



Concept E



NOTE
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AMMENDMENTS

No	Description	Date
B	For client review	20/10/2022

for client review only

Walls Legend

-  Existing Walls
-  Walls/item to be demolished
-  New Walls

CLIENT

Confidential

PROJECT

Extension and garage

PROJECT No: 2216
 BLOCK: 1
 SECTION: 1
 SUBURB: ACT
 ADDRESS: confidential

DRAWING TITLE

Concept E - 3D views

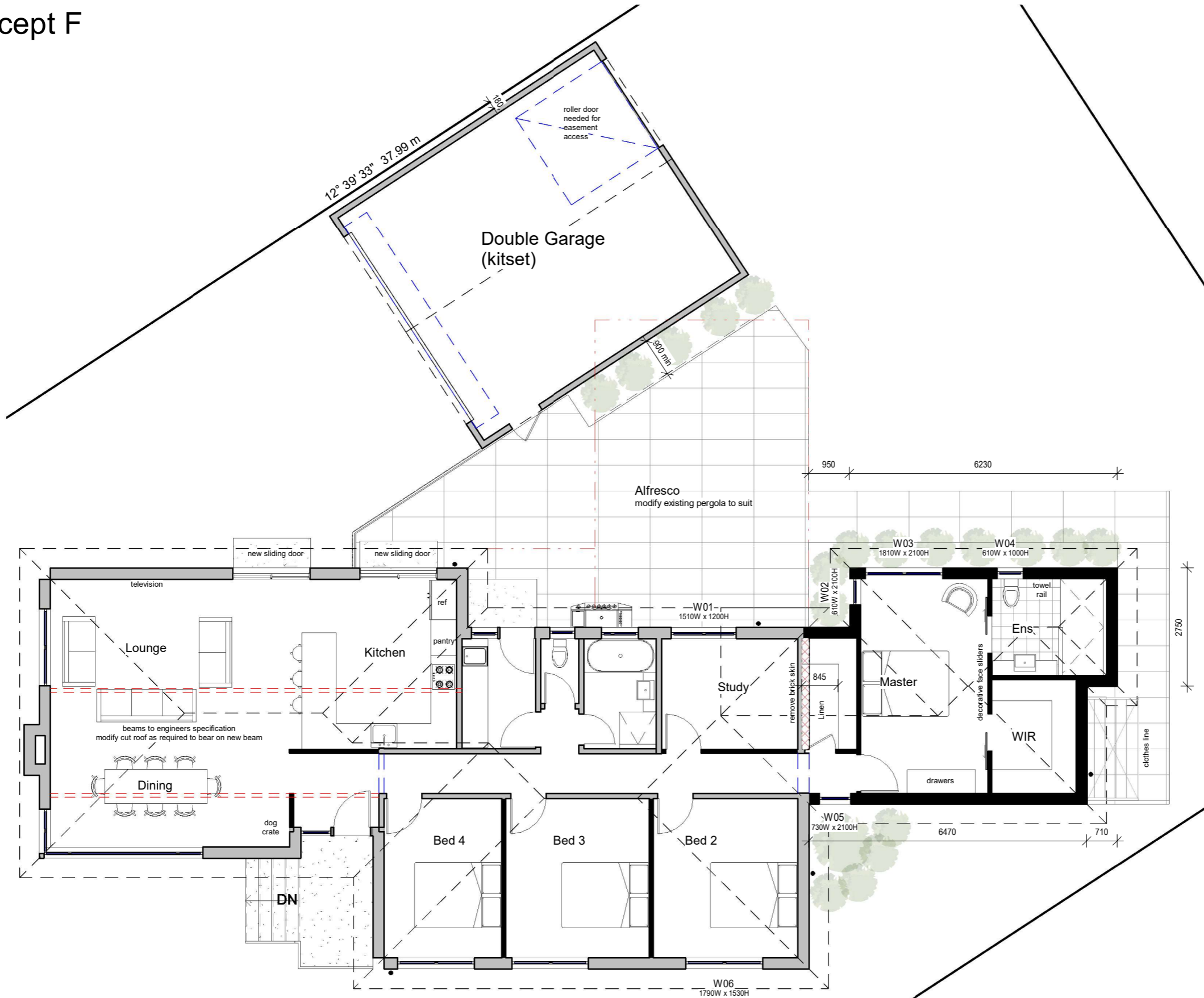
DRAWING NO:

PSP10

ISSUE: B
 DATE: 20/10/2022
 SCALE @A3: 1 : 100
 DRAWN BY: S.Vaughan
 CHECKED BY: client



Concept F



for client review only



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AMMENDMENTS

No	Description	Date
C	For client review	20/01/2023
D	For client signoff	23/01/2023

Walls Legend

- Existing Walls
- Walls/item to be demolished
- New Walls

CLIENT

Confidential

PROJECT

Extension and garage

PROJECT No: 2216
 BLOCK: 1
 SECTION: 1
 SUBURB: ACT
 ADDRESS: confidential

DRAWING TITLE

Concept F - Floorplan

DRAWING NO:

PSP11

ISSUE: D
 DATE: 23/01/2023
 SCALE @A3: 1 : 100
 DRAWN BY: S.Vaughan
 CHECKED BY: client



NOTE

DIMENSIONS ARE BASED UPON A SITE MEASURE AND HAVE BEEN ROUNDED +/- 10MM. COMPOUNDING ERRORS MAY OCCUR.

Area Type	Site Area	Area	Ratio	Requirement
Plot Ratio	858 m ²	220 m ²	26%	not more than 50%
Private Open Space	858 m ²	539 m ²	63%	not less than 60%
Planting	858 m ²	450 m ²	52%	not less than 30%
Site Coverage	858 m ²	288 m ²	34%	not more than 40%

NOTE

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ALL WORKS TO ADHERE TO ALL LOCAL, STATE AND FEDERAL LEGISLATION.

EPA

Development complies with the Environment Protection Authority, Environment Protection Guidelines for Construction and Land Development in the ACT, August 2007.

Sediment Control

Erect Sediment Control Fence in accordance with the requirements detailed in

"Environment Protection Information Sheet 3 of 6" published by Access Canberra.

Figure 14: Geotextile Fabric Sediment Control Barrier

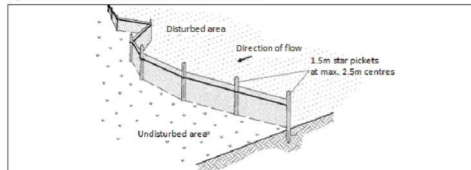
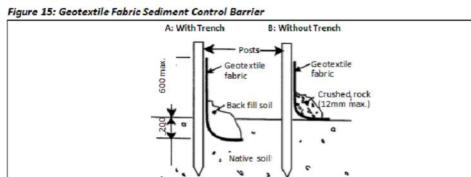


Figure 15: Geotextile Fabric Sediment Control Barrier



Tree Protection

Erect site fencing around established trees prior to commencement of works.

Erect site fencing to protect all street trees from damage for entire duration of project. Street trees are not to be pruned without written prior consent.

NOTE

- Site plan is indicative only.
- Block Boundaries are based on ACTMAPI Dimensions report.
- Contours based on ACTMAPI 2015 data.
- Building locations are based on historic ID Survey
- Existing FFL to be confirmed prior to construction



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AMMENDMENTS

No	Description	Date
4	Issued for Entity Approval and 1N	20/02/2023
5	Additional Dimensioning for 1N	2/03/2023
6	Issued for Building Approval	8/03/2023

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USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION OR SET OUT

CLIENT

confidential

PROJECT

Extension and garage

PROJECT No: 2216
DA APPROVAL: 1N approved
BA APPROVAL: issued for approval

BLOCK: 1
SECTION: 1
SUBURB: ACT
ADDRESS: confidential

DRAWING TITLE

Proposed Site Plan

DRAWING NO:

A01

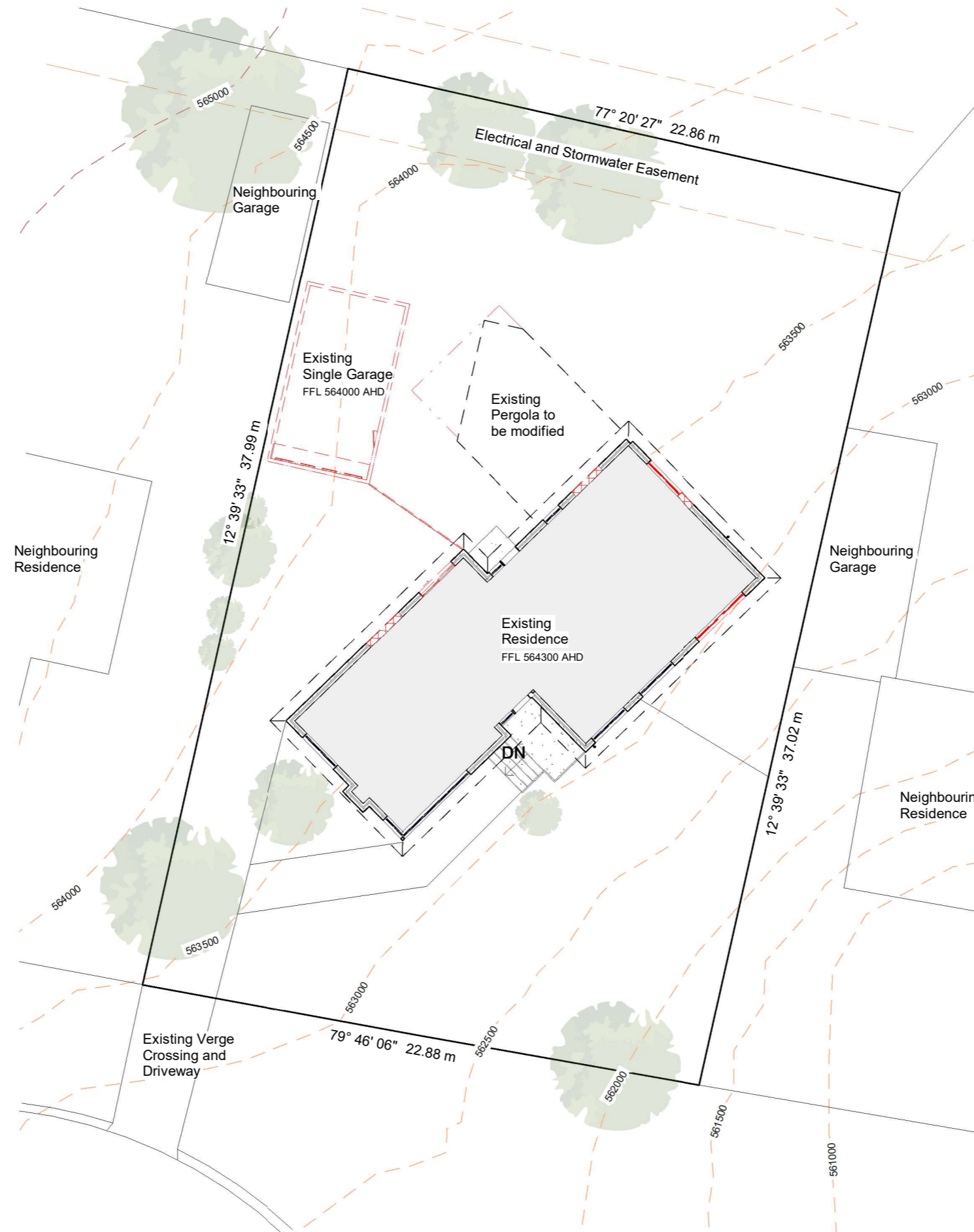
ISSUE: 6
DATE: 8/03/2023
SCALE @A3: As indicated
DRAWN BY: S.Vaughan
CHECKED BY: client



1 Proposed Site Plan
1 : 200

NOTE

- Site plan is indicative only.
- Block Boundaries are based on ACTMAPI Dimensions report.
- Contours based on ACTMAPI 2015 data.
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6	Issued for Building Approval	8/03/2023

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CLIENT

confidential

PROJECT

Extension and garage

PROJECT No: 2216
 DA APPROVAL: 1N approved
 BA APPROVAL: issued for approval

BLOCK: 1
 SECTION: 1
 SUBURB: ACT
 ADDRESS: confidential

DRAWING TITLE

Existing Site Plan with Demolition
 DRAWING NO:

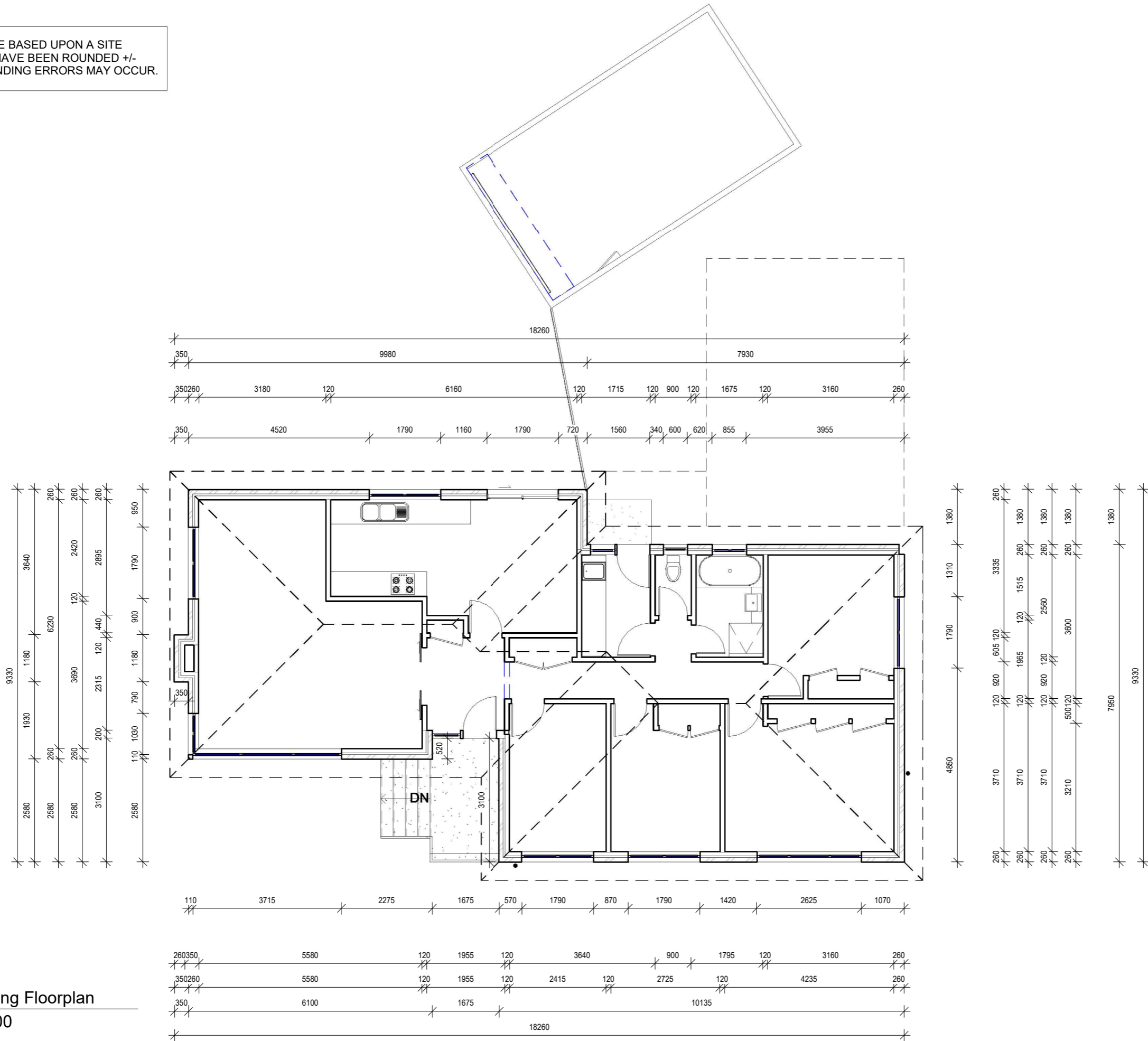
A02

ISSUE: 6
 DATE: 8/03/2023
 SCALE @A3: As indicated
 DRAWN BY: S.Vaughan
 CHECKED BY: client



NOTE

DIMENSIONS ARE BASED UPON A SITE MEASURE AND HAVE BEEN ROUNDED +/- 10MM. COMPOUNDING ERRORS MAY OCCUR.



1 Existing Floorplan
1 : 100

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CLIENT
confidential

PROJECT
Extension and garage

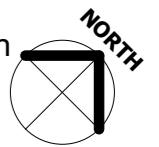
PROJECT No: 2216
DA APPROVAL: 1N approved
BA APPROVAL: issued for approval

BLOCK: 1
SECTION: 1
SUBURB: ACT
ADDRESS: confidential

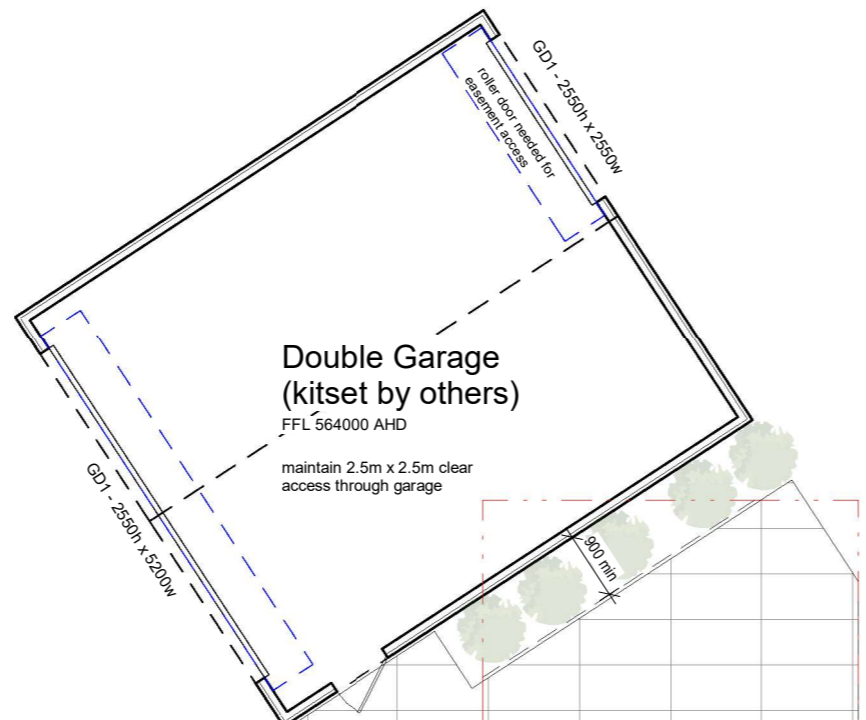
DRAWING TITLE
Existing Floorplan

DRAWING NO:
A03

ISSUE: 6
DATE: 8/03/2023
SCALE @A3: 1 : 100
DRAWN BY: S.Vaughan
CHECKED BY: client



Window Schedule							
(builder to confirm all window sizes before ordering)							
Mark	Location	Height	Width	Material	Glazing	Window Style	Remarks
Existing (to be replaced)							
W101	Laundry	1100	610	Timber	Single	Awning	
W102	WC	980	600	Aluminium	Single	Sliding	opaque
W103	Bath	1030	855	Aluminium	Single	Sliding	opaque
W104	Bed 3	1530	1790	Aluminium	Single	Sliding	
W105	Bed 4	1530	1790	Aluminium	Single	Sliding	
W106	Entry	2100	700	Timber	Single	Fixed	opaque
W107	Dining	1530	3715	Aluminium	Single	Sliding	
W108	Dining	1530	1030	Aluminium	Single	Sliding	
W109	Lounge	1530	1790	Aluminium	Single	Sliding	
New Construction							
ASD01	Lounge	2100	1790		Double	Sliding	
ASD02	Kitchen	2055	1790		Double	Sliding	
W01	Study	1200	1510		Double	Awning	
W02	Master Bed	2100	610		Double	Awning	
W03	Master Bed	2100	1810		Double	Awning	
W04	Ensuite	1000	610		Double	Awning	opaque
W05	Hallway	2100	730		Double	Awning	
W06	Bed 2	1530	1790		Double	Awning	



INSULATION

Ceilings

- R5 (min) batts to ceiling
- R3 (min) batts to perimeter of ceiling - per NCC2022 requirement

Walls

- R2.5HD batts to all external walls

Timber Subfloors

- R3 (min) batts to all timber subfloors (batts to match joist height)

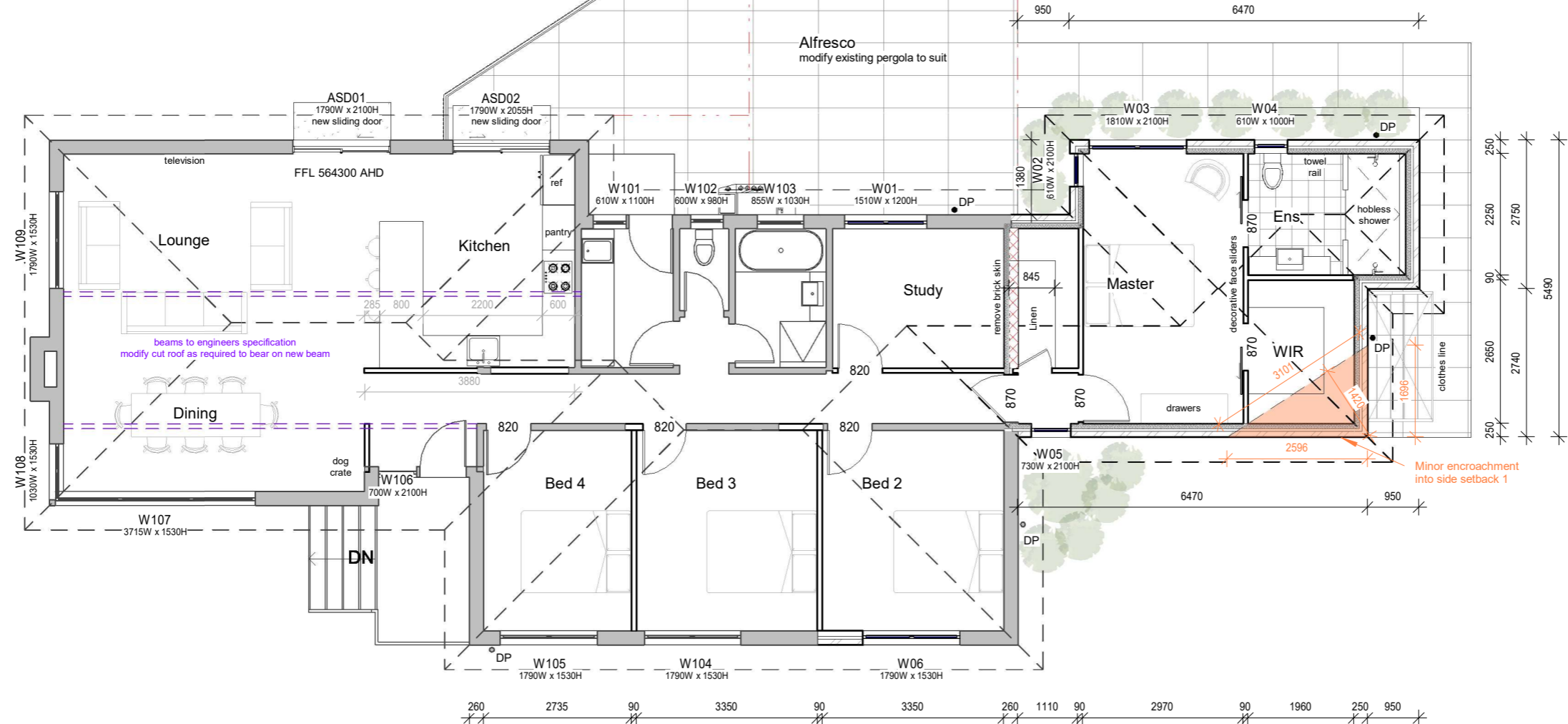
Concrete Slabs

- R1 (min) to perimeter of slab
- R1 must be installed underneath the slab (excluding waffle pod slabs)

NOTE

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AMMENDMENTS		
No	Description	Date
4	Issued for Entity Approval and 1N	20/02/2023
5	Additional Dimensioning for 1N	2/03/2023
6	Issued for Building Approval	8/03/2023

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CLIENT
confidential

PROJECT
Extension and garage

PROJECT No: 2216
DA APPROVAL: 1N approved
BA APPROVAL: issued for approval

BLOCK: 1
SECTION: 1
SUBURB: ACT
ADDRESS: confidential

DRAWING TITLE
Proposed Floorplan

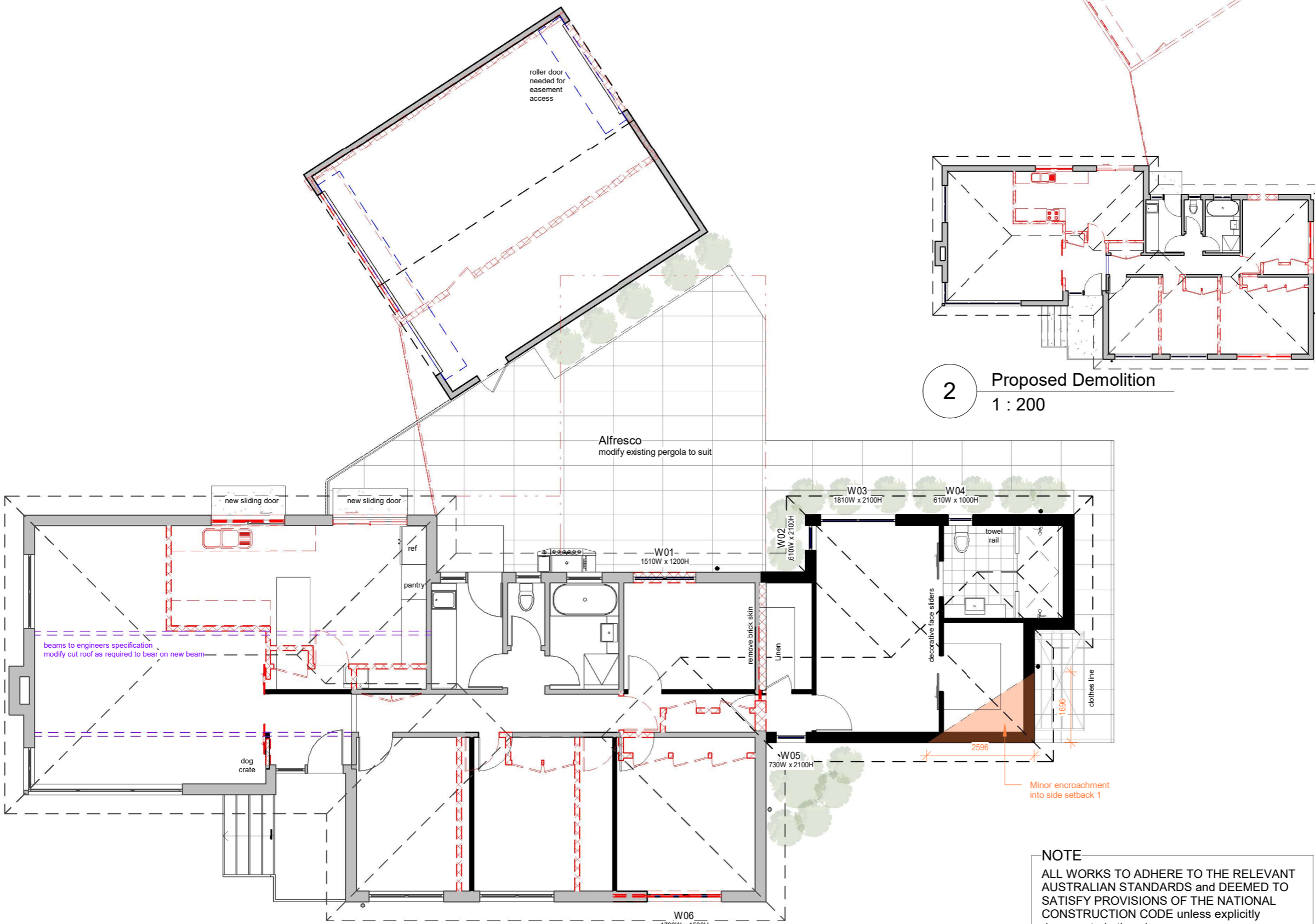
DRAWING NO:
A04

ISSUE: 6
DATE: 8/03/2023
SCALE @A3: 1 : 100
DRAWN BY: S.Vaughan
CHECKED BY: client

1 Proposed Floorplan
1 : 100

NOTE

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1 Proposed Works
1 : 100

2 Proposed Demolition
1 : 200

NOTE
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AMMENDMENTS

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6	Issued for Building Approval	8/03/2023

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CLIENT
confidential

PROJECT
Extension and garage

PROJECT No: 2216
DA APPROVAL: 1N approved
BA APPROVAL: issued for approval
BLOCK: 1
SECTION: 1
SUBURB: ACT
ADDRESS: confidential

DRAWING TITLE
Proposed Works

DRAWING NO:
A05

ISSUE: 6
DATE: 8/03/2023
SCALE @A3: As indicated
DRAWN BY: S.Vaughan
CHECKED BY: client



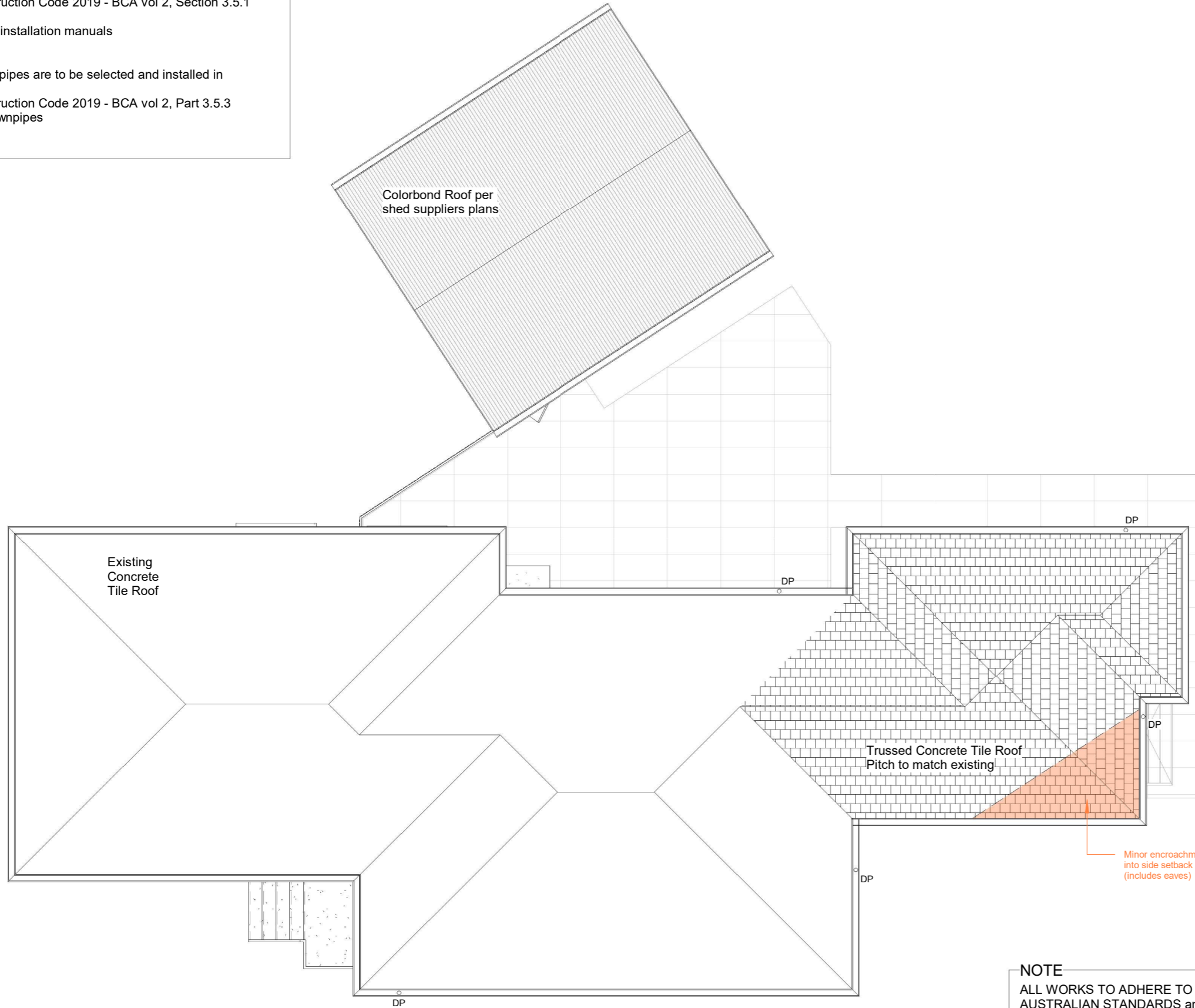
Note

Roof sheeting is to be selected and installed in accordance with:

- National Construction Code 2019 - BCA vol 2, Section 3.5.1 Sheet Roofing
- Manufacturer's installation manuals

Gutters and Downpipes are to be selected and installed in accordance with:

- National Construction Code 2019 - BCA vol 2, Part 3.5.3 Gutters and downpipes



NOTE

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AMMENDMENTS

No	Description	Date
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PROJECT

Extension and garage

PROJECT No: 2216
 DA APPROVAL: 1N approved
 BA APPROVAL: issued for approval

BLOCK: 1
 SECTION: 1
 SUBURB: ACT
 ADDRESS: confidential

DRAWING TITLE

Roof Plan

DRAWING NO:

A06

ISSUE: 6
 DATE: 8/03/2023
 SCALE @A3: 1 : 100
 DRAWN BY: S.Vaughan
 CHECKED BY: client



Area Schedule

Name	Area	Plot Ratio	POS	Planting	Site Coverage
Existing Driveway	99 m ²				
Existing Residence	136 m ²	Yes			Yes
Modified Pergola	36 m ²		Yes		Yes
Paving	14 m ²		Yes		Yes
Paving	19 m ²		Yes		Yes
Planting 1	259 m ²		Yes	Yes	
Planting 2	169 m ²		Yes	Yes	
Planting 3	22 m ²		Yes	Yes	
Planting 4	7 m ²		Yes		
Planting 5	3 m ²		Yes		
Planting 6	1 m ²		Yes		
Planting 7	5 m ²		Yes		
Planting 8	6 m ²		Yes		
Proposed Double Garage	48 m ²	Yes			Yes
Proposed Extension	37 m ²	Yes			Yes
Total Area	858 m²				

Site Area

Site Area	858 m ²			
Area Type	Site Area	Area	Ratio	Requirement
Plot Ratio	858 m ²	220 m ²	26%	not more than 50%
Private Open Space	858 m ²	539 m ²	63%	not less than 60%
Planting	858 m ²	450 m ²	52%	not less than 30%
Site Coverage	858 m ²	288 m ²	34%	not more than 40%

Plot Ratio (GFA)

Existing Residence	136 m ²
Proposed Double Garage	48 m ²
Proposed Extension	37 m ²
Plot Ratio (GFA)	220 m²

Planting

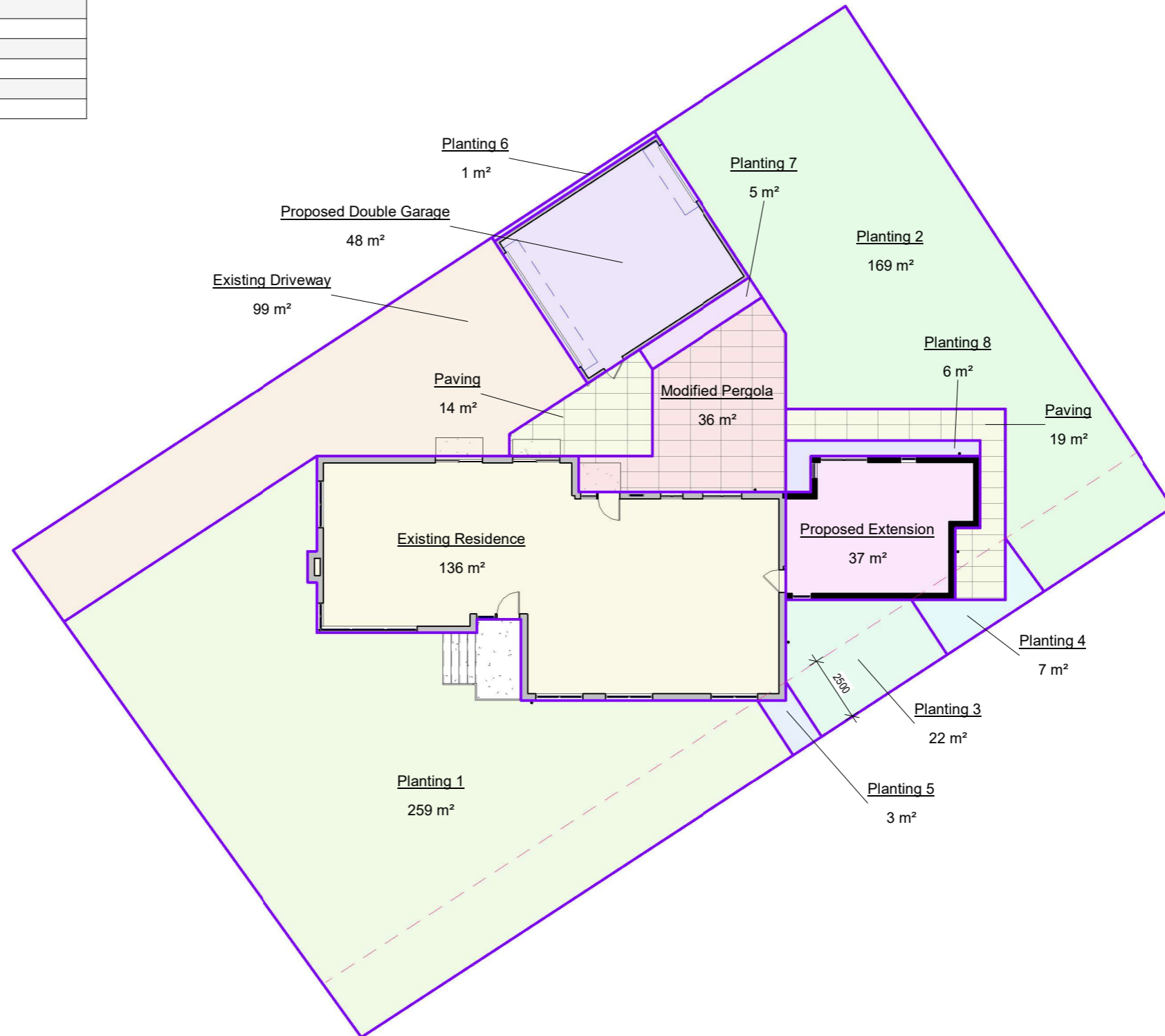
Planting 1	259 m ²
Planting 2	169 m ²
Planting 3	22 m ²
Planting Area	450 m²

POS

Modified Pergola	36 m ²
Paving	14 m ²
Paving	19 m ²
Planting 1	259 m ²
Planting 2	169 m ²
Planting 3	22 m ²
Planting 4	7 m ²
Planting 5	3 m ²
Planting 6	1 m ²
Planting 7	5 m ²
Planting 8	6 m ²
Private Open Space	539 m²

Site Coverage

Existing Residence	136 m ²
Modified Pergola	36 m ²
Paving	14 m ²
Paving	19 m ²
Proposed Double Garage	48 m ²
Proposed Extension	37 m ²
Site Coverage	288 m²



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DRAWING TITLE

Area Plan

DRAWING NO:

A10

ISSUE: 6
DATE: 8/03/2023
SCALE @A3: 1 : 200
DRAWN BY: S.Vaughan
CHECKED BY: client

NORTH



1

Area Plan

1 : 200

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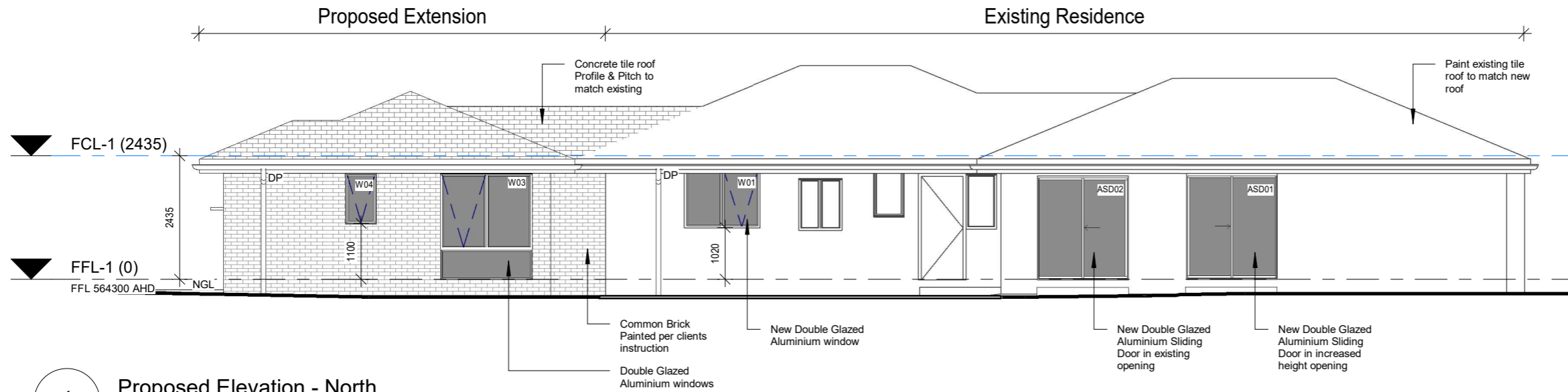
DRAWING TITLE

Elevations

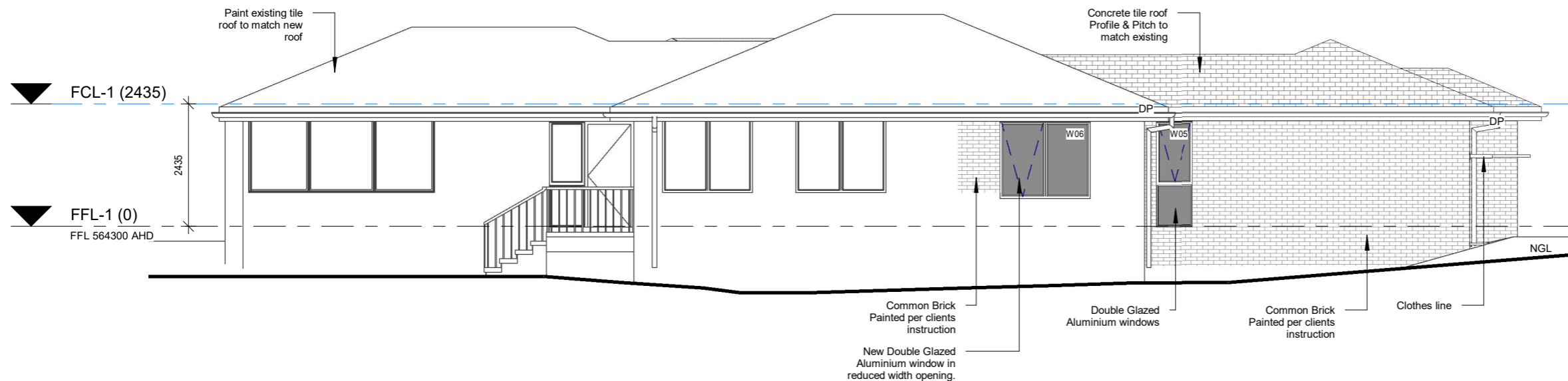
DRAWING NO:

A11

ISSUE: 6
DATE: 8/03/2023
SCALE @A3: 1 : 100
DRAWN BY: S.Vaughan
CHECKED BY: client



1 Proposed Elevation - North
1 : 100

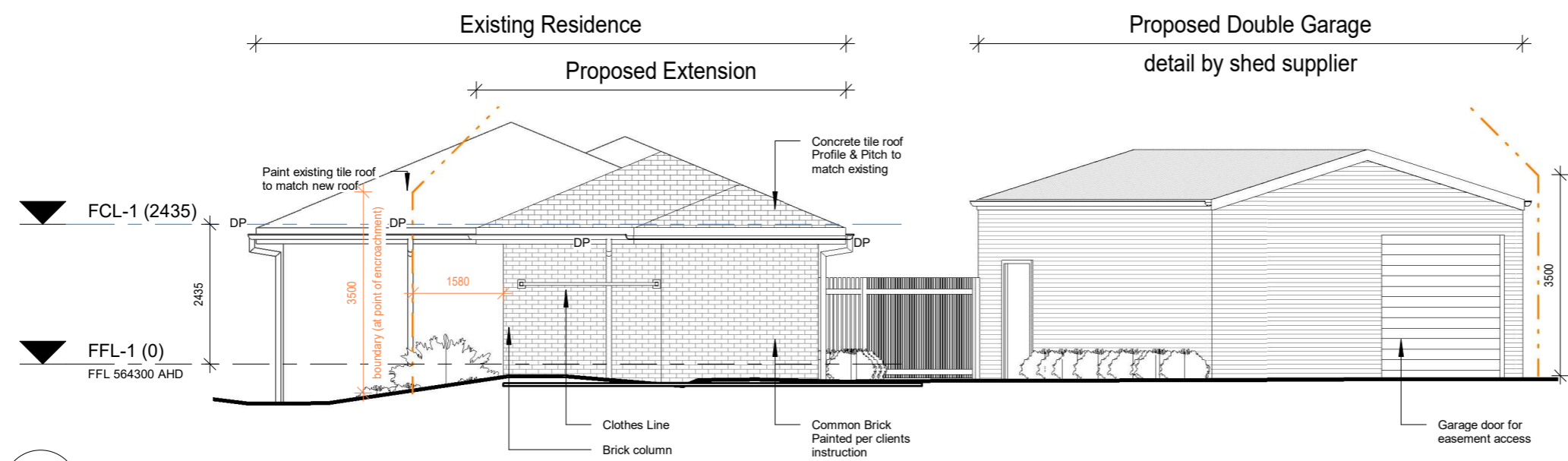


2 Proposed Elevation - South
1 : 100

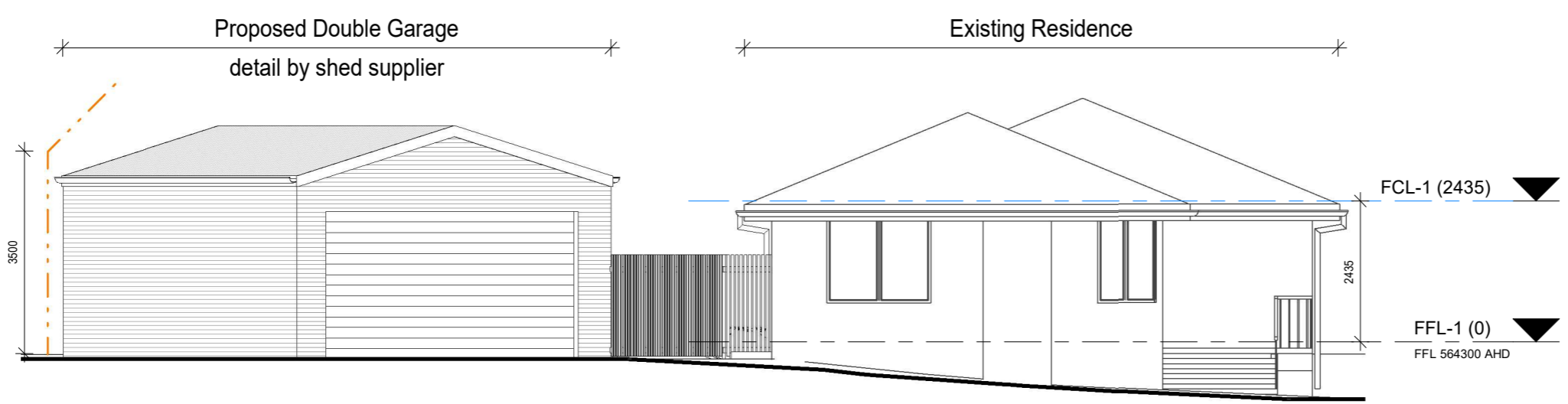
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1 Proposed Elevation - East
1 : 100



2 Proposed Elevation - West
1 : 100

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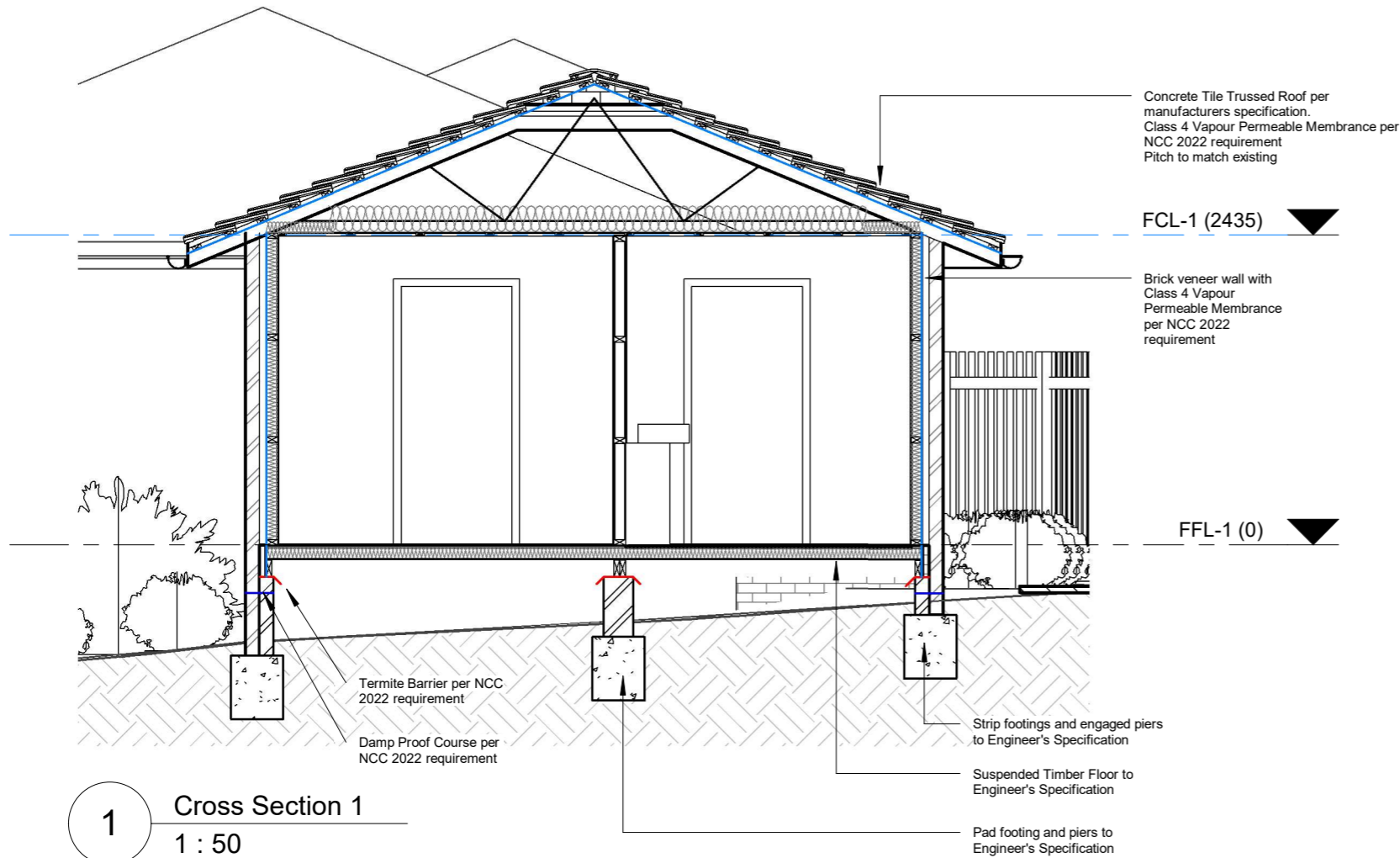
PROJECT No: 2216
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BLOCK: 1
SECTION: 1
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DRAWING TITLE
Elevations

DRAWING NO:
A12

ISSUE: 6
DATE: 8/03/2023
SCALE @A3: 1 : 100
DRAWN BY: S.Vaughan
CHECKED BY: client



1 Cross Section 1
1 : 50

INSULATION

- Ceilings**
- R5 (min) batts to ceiling
 - R3 (min) batts to perimeter of ceiling - per NCC2022 requirement
- Walls**
- R2.5HD batts to all external walls
- Timber Subfloors**
- R3 (min) batts to all timber subfloors (batts to match joist height)
- Concrete Slabs**
- R1 (min) to perimeter of slab
 - R1 must be installed underneath the slab (excluding waffle pod slabs)

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DRAWING TITLE

Sections

DRAWING NO:

A13

ISSUE: 6
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DRAWING TITLE

3D Views

DRAWING NO:

A21

ISSUE: 6
 DATE: 8/03/2023
 SCALE @A3:
 DRAWN BY: S.Vaughan
 CHECKED BY: client